

Morgans

PROPERTY

40 Kellock Avenue, Dunfermline, KY11 8YW

Offers Over £360,000



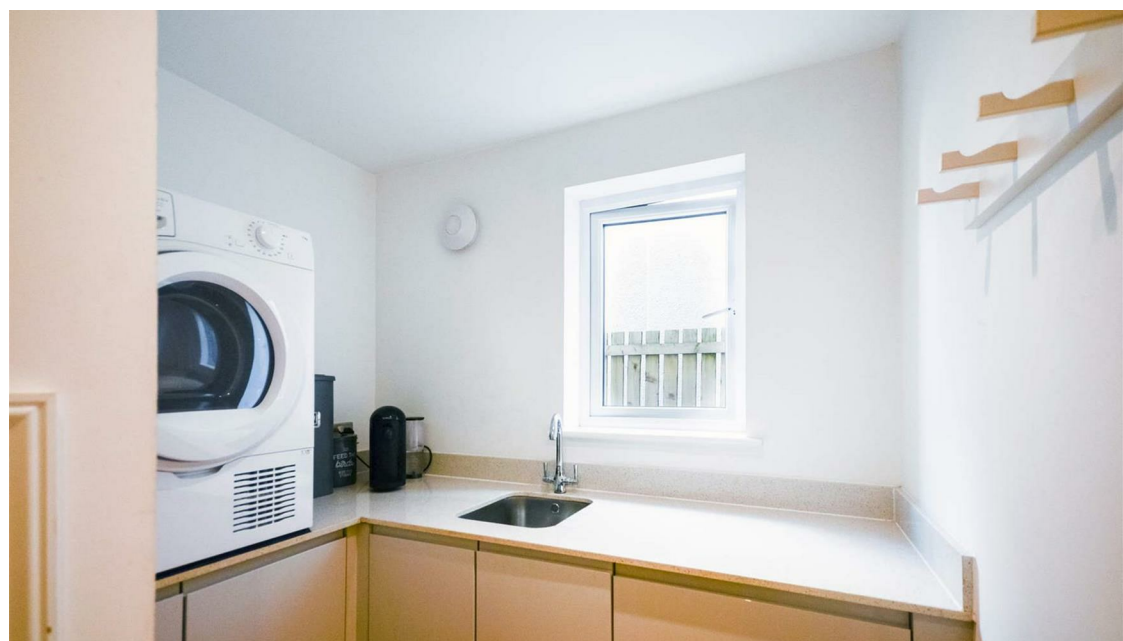








We are delighted to be marketing this absolutely stunning executive detached villa which has been extended to provide additional living space and family room. The property is a credit to the present owners being offered in move in condition with quality fixtures and fittings throughout. This generous family home is a short walk to the local primary school with all local amenities and retail parks within a short walk/drive. The accommodation is beautifully presented and briefly comprises reception hall, w.c, utility room, lounge and dining room, breakfasting kitchen with middle island leading to family room with feature wood burner. On the upper level there are four bedrooms with master en-suite, Jack 'n' Jill en-suite and four piece family bathroom. Access to attic. There are fully enclosed landscaped gardens with patio areas, an excellent entertaining home, which are fully enclosed providing a child and pet safe environment. The property is double glazed with gas central heating. Double driveway leads to tandem garage.







## LOCATION

The ancient capital of Dunfermline won its bid to have official status city in May 2022, as part of the civic honour's competition to celebrate the Queen's platinum jubilee. The City of Dunfermline is of considerable historic interest and is the resting place of King Robert the Bruce. Carnegie's Birthplace museum, the Abbey and Abbot House reflect the historic interest of the city, whilst recent developments have seen Dunfermline move into the modern era with Carnegie Museum and Library. Dunfermline is located approximately five miles from the Forth bridges and is therefore particularly popular with commuters to Edinburgh and many parts of the central belt with easy access to the M90 motorway with its direct links to Edinburgh, Perth and Dundee and across the Kincardine Bridge by way of motorways to Stirling, Glasgow and the West. It benefits from a full range of shops, social and leisure facilities and educational establishments. The local railway stations provide a regular service to Edinburgh with intercity links to other parts of the UK. There are regular and convenient bus services both local and national.

## EXTRAS INC. IN SALE

All floor coverings, blinds, bathroom and some light fittings together with integrated appliances.







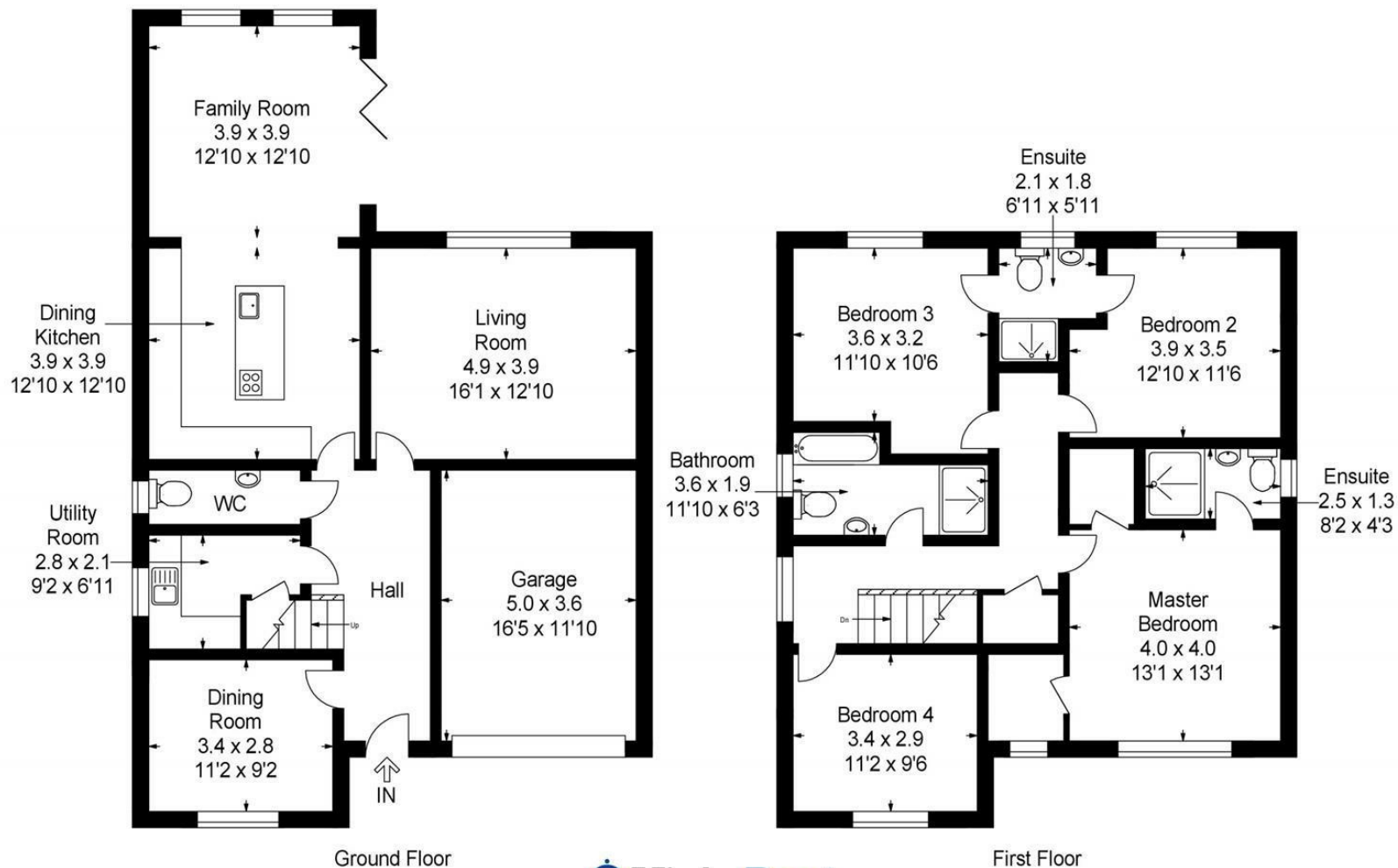












This plan is for layout guidance only and is not drawn to scale. Whilst every care is taken in the preparation of this plan, please check all dimension and shapes before making any decision reliant upon them. All room dimensions taken through cupboard/wardrobes to wall surface where possible or to surfaces indicated by arrow heads. (ID 110927)

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